

SUBDIVISION ACT 1988 PLAN OF SUBDIVISION	EDITION 1	PLAN NUMBER PS822295T
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LOCATION OF LAND PARISH: MERRIANG TOWNSHIP: ----- SECTION: 4 CROWN ALLOTMENTS: 10, 11 AND PARTS 7, 8, 9, 12, 13, 14, 15, 16 AND 17 SECTION: 5 CROWN ALLOTMENTS: 1, 2,3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19 AND 20 CROWN PORTION: ----- TITLE REFERENCES: VOL.11954 FOL.592, VOL.11594 FOL.593, VOL.11594 FOL.597, VOL.11594 FOL.598, VOL.11594 FOL.609 AND VOL. FOL. LAST PLAN REFERENCE: PS 819020E LOT A POSTAL ADDRESS: ARROWSMITH AND MURRAY STREETS (at time of subdivision) BEVERIDGE, VIC 3753 MGA CO-ORDINATES: E 320 330 ZONE: 55 (of approximate centre of land in plan) N 5 850 850 GDA 94	COUNCIL NAME : MITCHELL SHIRE COUNCIL
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VESTING OF ROADS OR RESERVES		TIMBARRA ESTATE - RELEASE 2 NUMBER OF LOTS IN THIS PLAN : 47 PLUS TWO (2) BALANCES TOTAL AREA OF LAND IN THIS PLAN : 6.042 ha (INCLUDING BALANCES.3.926 ha) DEPTH LIMITATION: DOES NOT APPLY
IDENTIFIER	COUNCIL / BODY / PERSON	
ROADS, R-1	MITCHELL SHIRE COUNCIL	

NOTATIONS	
LOTS 1 - 201 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.	OTHER PURPOSE OF THIS PLAN - CREATION OF RESTRICTIONS : FOR RESTRICTION DETAILS REFER TO SHEETS 7-12 (BOTH INCLUSIVE).

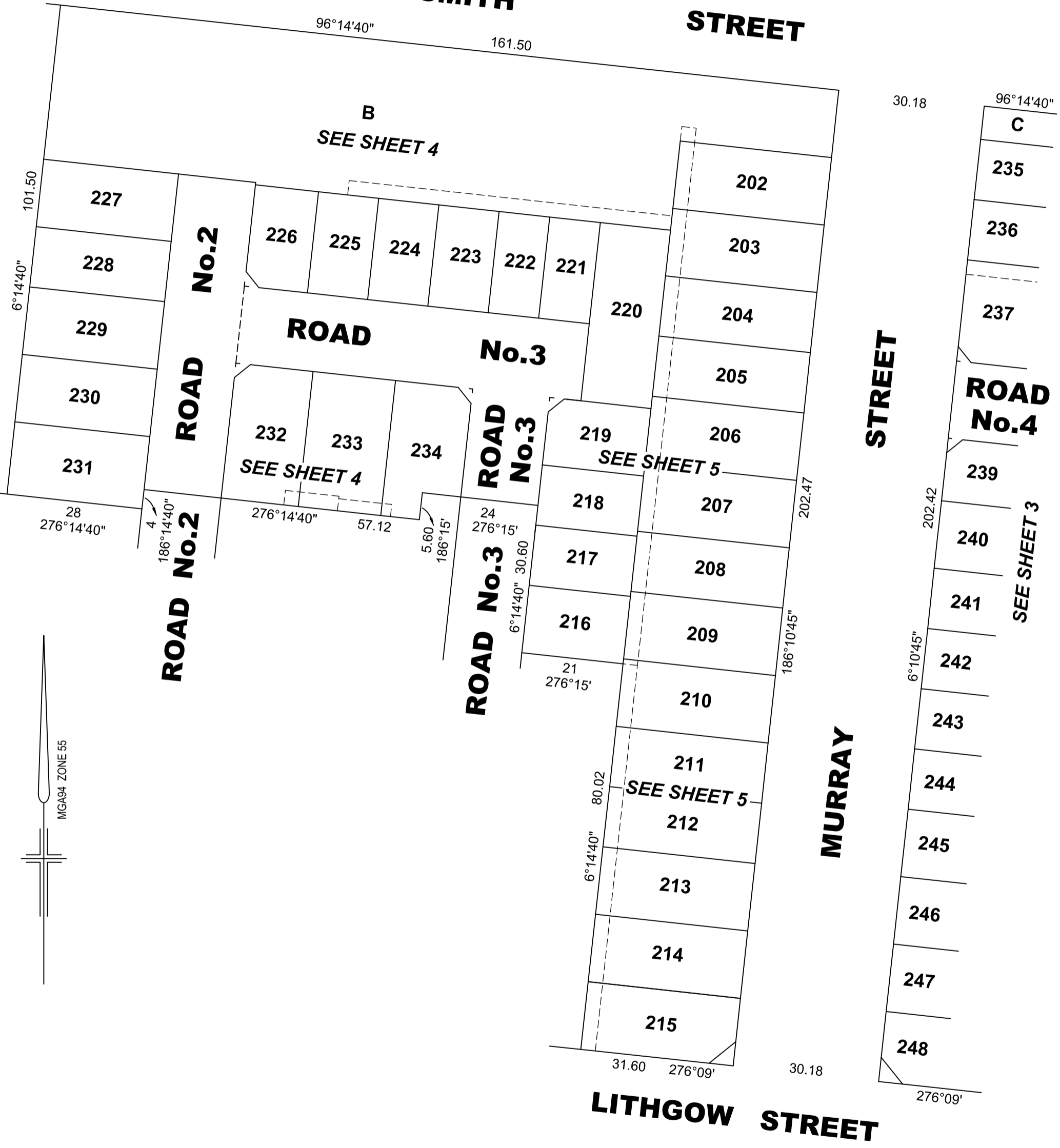
WARNING
 THIS PLAN IS AN UNREGISTERED PLAN OF SUBDIVISION. DIMENSIONS AND LAYOUT MAY VARY PRIOR TO FINAL APPROVAL OF PLAN

EASEMENT INFORMATION					STAGING: THIS IS NOT A STAGED SUBDIVISION PLANNING PERMIT No. SURVEY: THIS PLAN IS BASED ON SURVEY THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No(s). ----- IN PROCLAIMED SURVEY AREA No. -----
LEGEND: A - APPURTENANT EASEMENT E - ENCUMBERING EASEMENT R - ENCUMBERING EASEMENT (ROAD)					
EASEMENT REFERENCE	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED /IN FAVOUR OF	
E-1	DRAINAGE	SEE DIAG.	PS819020E	MITCHELL SHIRE COUNCIL	
E-1	SEWERAGE	SEE DIAG.	PS819020E	YARRA VALLEY WATER CORPORATION	

REF: 23017/2PS	VERSION: D	DATE: 10/07/18 23017-2-PS-M-D.DGN		ORIGINAL SHEET SIZE A3	SHEET 1 OF 12 SHEETS
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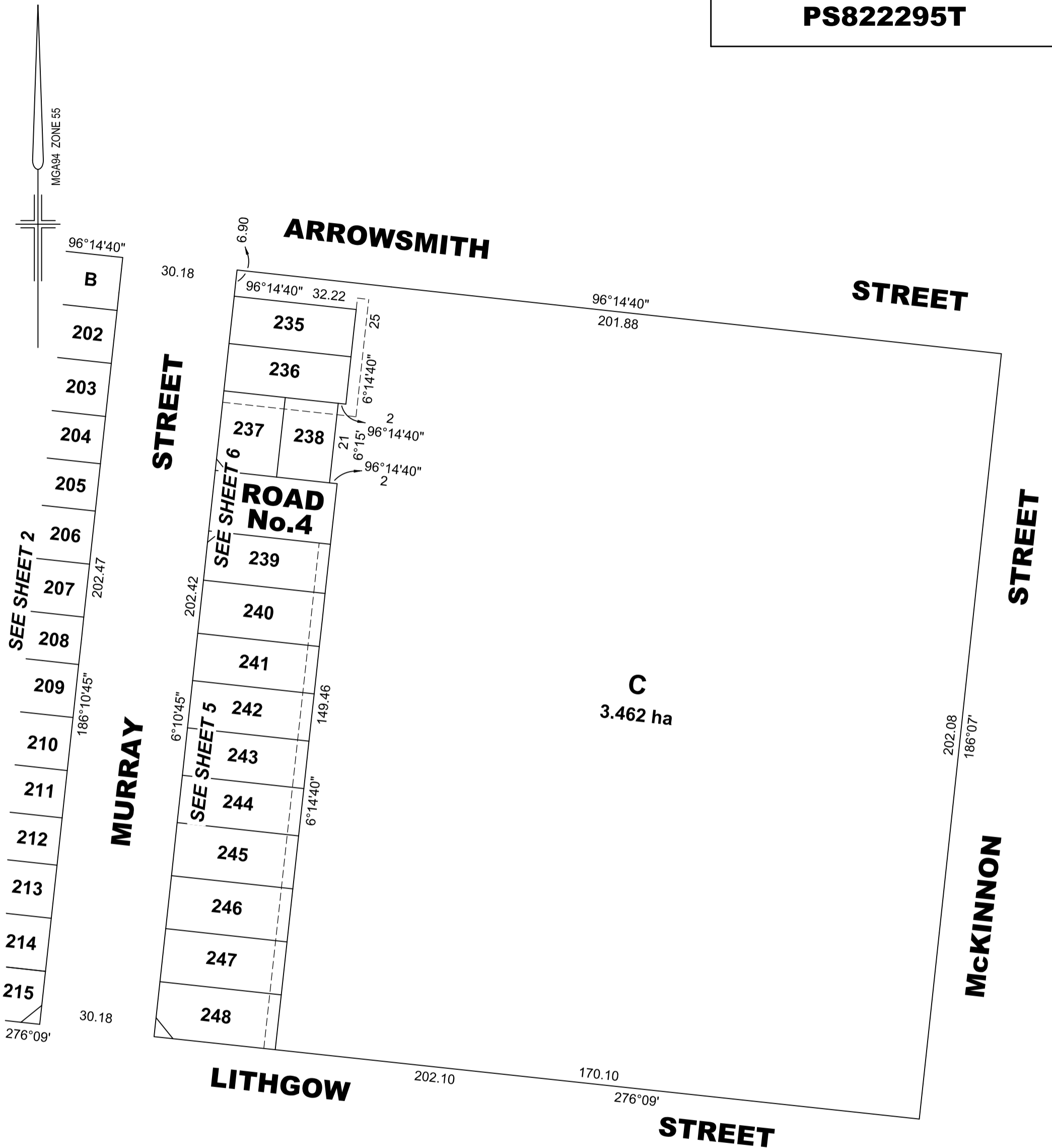
<p style="font-size: 8px; margin-top: 5px;"> Reeds Consulting Pty Ltd Lvl 6, 440 Elizabeth Street Melbourne Victoria 3000 p (03) 8660 3000 www.reedsconsulting.com.au survey@reedsconsulting.com.au </p>	LICENSED SURVEYOR SAMUEL JAMES LOVELOCK	
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ARROWSMITH STREET



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REF: 23017/2PS	VERSION: D	DATE: 10/07/18 23017-2-PS-M-D.DGN	SCALE 1:800	<p>LENGTHS ARE IN METRES</p>	ORIGINAL SHEET SIZE A3	SHEET 2
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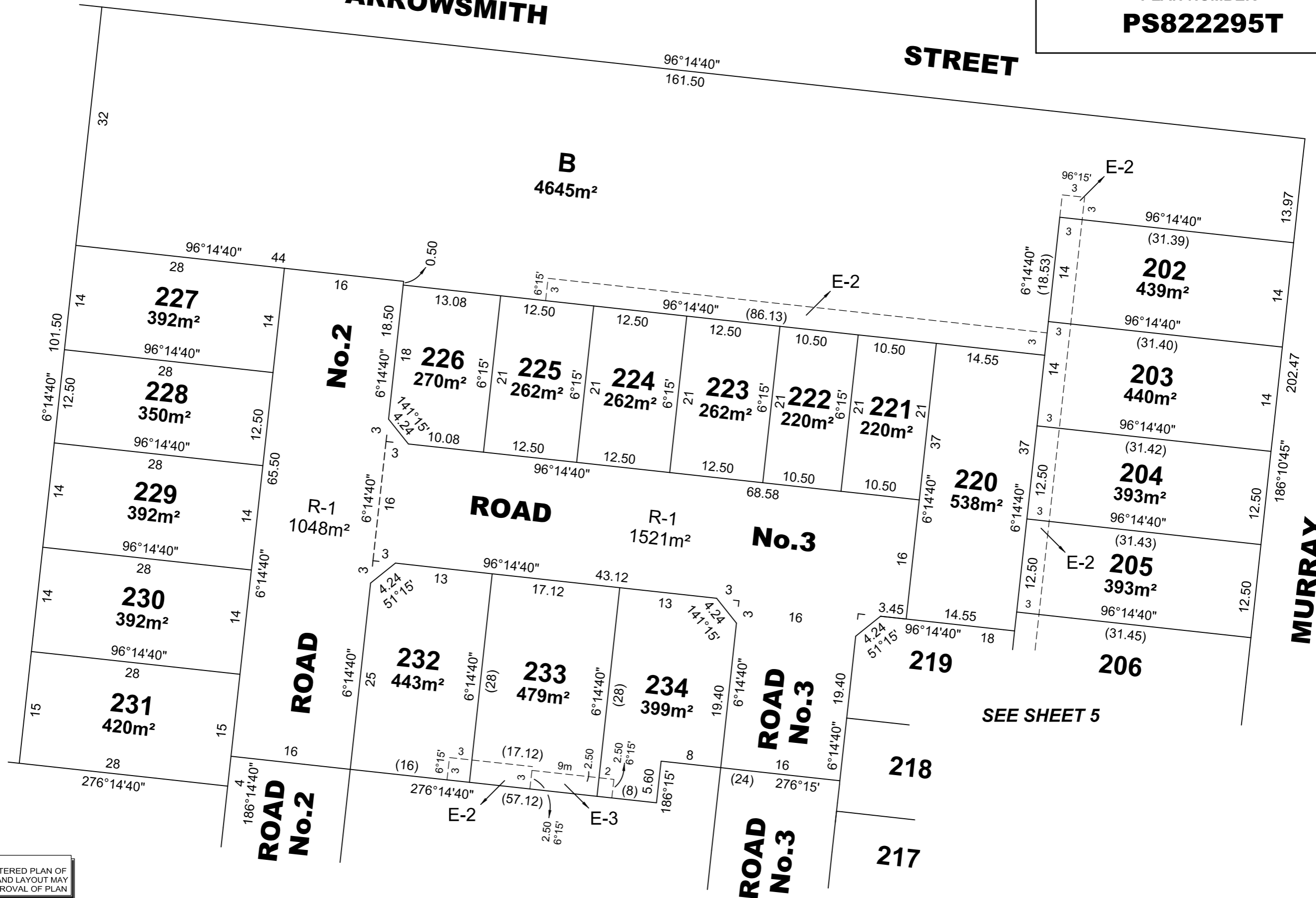
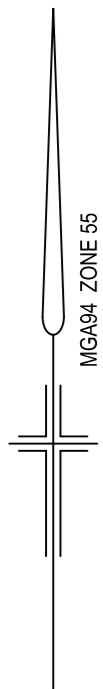
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ARROWSMITH

STREET

MURRAY STREET



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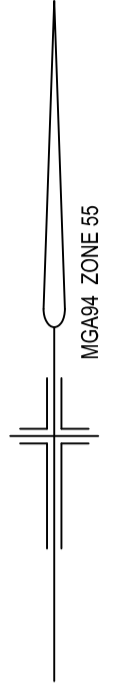
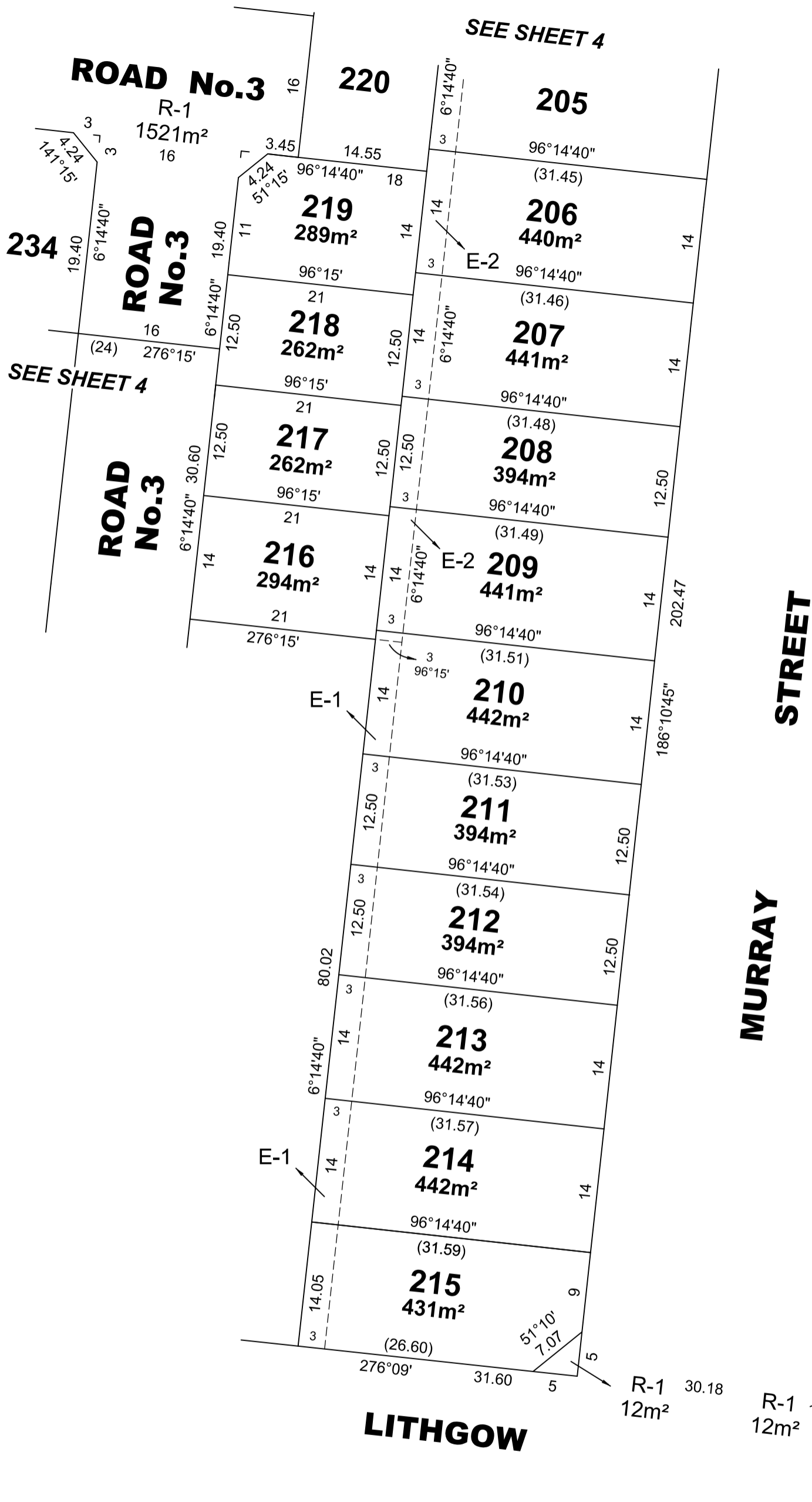
SCALE 1:500

LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE A3 SHEET 4

LICENSED SURVEYOR
 SAMUEL JAMES LOVELOCK

SEE SHEET 4



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SCALE **1:500**

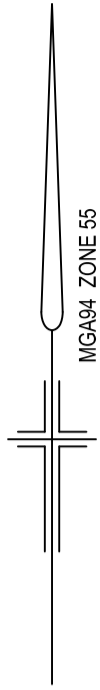
LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE **A3** SHEET **5**



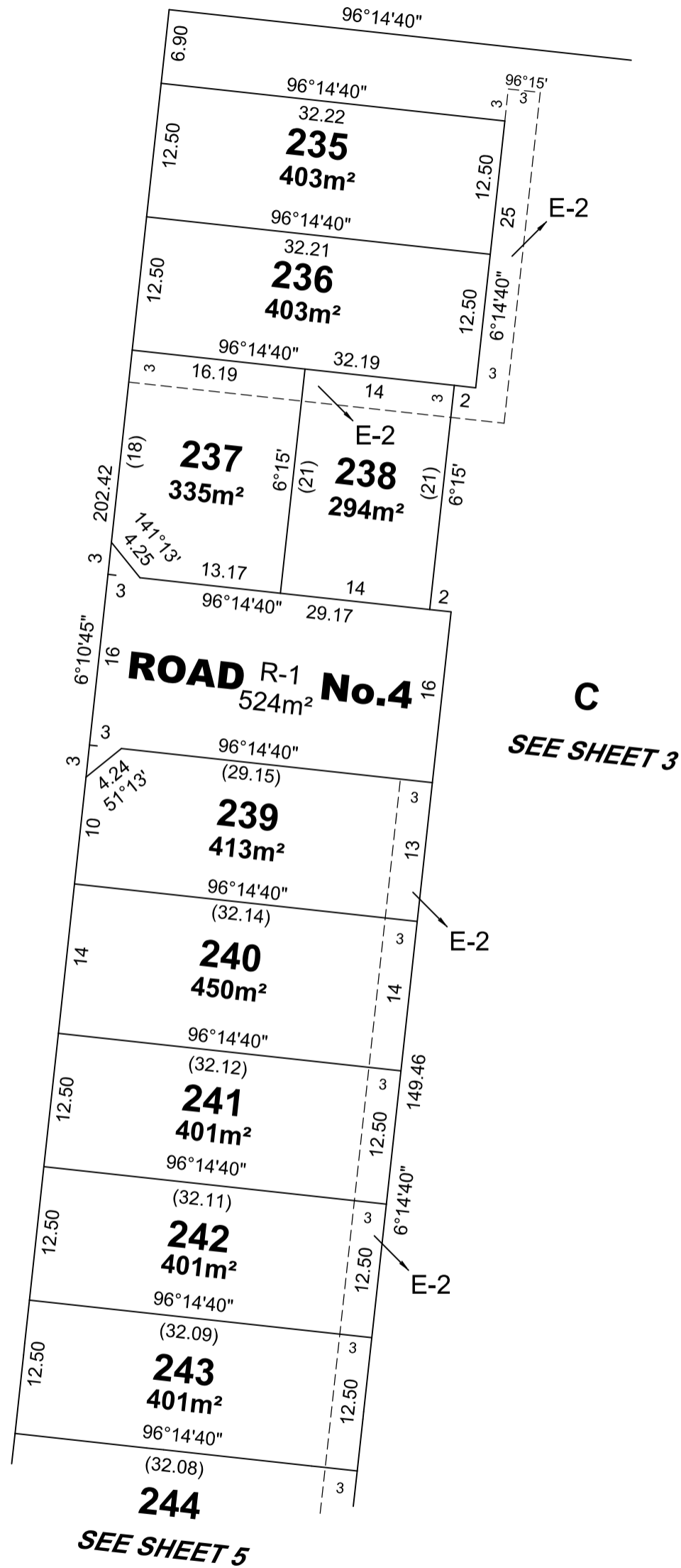
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LICENSED SURVEYOR
SAMUEL JAMES LOVELOCK



ARROWSMITH STREET

MURRAY STREET



C
SEE SHEET 3

SEE SHEET 5

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SCALE **1:500**
10 0 10 20
LENGTHS ARE IN METRES

ORIGINAL SHEET
SIZE **A3**

SHEET **6**



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LICENSED SURVEYOR
SAMUEL JAMES LOVELOCK

SUBDIVISION ACT 1988
CREATION OF RESTRICTION A

WARNING
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Upon registration of this plan the following restriction is to be created.

Table of Land Burdened and Land Benefited:

Burdened Lot No.	Benefited Lot No.	Burdened Lot No.	Benefited Lot No.	Burdened Lot No.	Benefited Lot No.
202	203	215	214	239	240
203	202, 204, 220	220	203, 204, 205, 206, 219, 221	240	239, 241
204	203, 205, 220	227	228	241	240, 242
205	204, 206, 220	228	227, 229	242	241, 243
206	205, 207, 219, 220	229	228, 230	243	242, 244
207	206, 208, 218, 219	230	229, 231	244	243, 245
208	207, 209, 217, 218	231	230	245	244, 246
209	208, 210, 216, 217	232	233	246	245, 247
210	209, 211, 216	233	232, 234	247	246, 248
211	210, 212	234	233	248	247
212	211, 213	235	236		
213	212, 214	236	235, 237, 238		
214	213, 215	237	236, 238		

Description of Restriction:

The registered proprietor or proprietors for the time being of a burdened lot to which this restriction applies shall not, unless with the consent of the Responsible Authority :

- (i) Construct any building outside the land shown hatched on the building envelope diagram other than:
 - a porch, portico or verandah no more than 3.6 metres in height and encroaching no more than 1.0 metre into the Front Setback Zone;
 - deck, steps or landing no more than 500mm in height encroaching no more than 1.0 metre into the Front Setback Zone;
 - a pergola, eaves, fascia and/or gutters encroaching no more than 1.0 metre into the Front Setback Zone;
 - a balcony not more than 4.5 metres high encroaching no more than 1.0 metre into the Front Setback Zone;
 - encroachments into the nominated Side and Rear Setback Zone as provided for under Regulation 414(3) of the Building Regulations 2006 except to where a wall is on a boundary.
- (ii) Construct any garage with a door or doors which occupy more than 40% of the width of the front boundary, except where the width of front boundary is less than 12 metres and the dwelling is two or more storeys, the opening of the garage must not be more than 30% of the area of the front façade of the dwelling.
- (iv) Construct or allow to be constructed any more than one dwelling per lot.

This restriction shall expire ten (10) years after the date of registration of this plan.

Building regulations apply to all matters which are not addressed in this restriction.

WARNING
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CREATION OF RESTRICTION B

The following Restriction is to be created upon Registration of this plan:

For the purposes of this restriction:

- (a) "Minimum Front Boundary Setback" means, in respect of each lot, the distance between the Front Boundary and the front of the building envelope.
- (b) "Building Envelope" means the building envelope shown in the Building Envelope Diagram.
- (c) "Front Boundary" means:
 - (i) in the case of any lot where only one boundary of that lot abuts a road, the boundary which abuts the road; and
 - (ii) in the case of any lot where two boundaries of that lot each abut a road, the shorter boundary which abuts the road; and where there is a splayed corner on a lot, that part of the boundary which is created by the splay shall be disregarded.
- (d) BDAP is the Beveridge Design Assessment Panel (being Melbourne Land Corporation Pty Ltd ACN 113 254 112 ("MLC")) or the person, entity or group who are from time to time nominated by MLC to act as the Beveridge Design Assessment Panel and comply with the Design Guidelines.
- (f) Small Lot Code is the Small Lot Housing Code published by the Metropolitan Planning Authority August 2014.
- (e) All distances are to be measured at right angles to the respective boundary.

Land Benefit : Lots 202-248 (both inclusive) on this plan.

Land to be Burdened : Lots 202-248 (both inclusive) on this plan.

Description of Restriction:

The registered proprietor or proprietors for the time being of any lot on this plan to which the following restriction applies shall not, unless with the consent of the BDAP :

- (1) Construct or cause or permit to be constructed or remain erected on any burdened lot any building forward of the Minimum Front Boundary Setback except as provided by Restriction A (i)
- (2) Construct or cause or permit to be constructed on any lot on this plan:-
 - (i) any building other than one dwelling house with the usual outbuildings such dwelling house having a minimum floor area (excluding any verandah, carport or garage) of:-
 - (a) 170 square metres excluding garage for allotments with an area 600 square metres or greater,
 - (b) 150 square metres excluding garage for allotments with an area between 500 and 599 square metres,
 - (c) 120 square metres excluding garage for allotments with an area of between 400 and 499 square metres, or
 - (d) 100 square metres excluding garage for allotments with an area of 399 square metres or less.
 (2)(i) does not apply to any lot created upon further subdivision of lots.
 - (ii) any dwelling (including garage and carport) of which less than fifty percent (50%) of the external walls (excluding windows) is constructed of brick, brick veneer, stone, masonry or masonry veneer;
 - (iii) any outbuildings other than a garage or carport having external walls constructed of materials other than brick, stone, rendered concrete, concrete sheet, timber or colored non-reflective metal;
 - (iv) any dwelling with a roof of other than masonry or terracotta tiles or colored non-reflective metal roofing material;
 - (v) any dwelling which has any external plumbing apparatus, pipes and conduits (stormwater drainage excepted) which are visible from an adjoining street or reserve on the plan;
 - (vi) any dwelling on an allotment with an area of less than 300 square metres other than one that complies with the Small Lot Code for type A or B dwellings as noted on the Building Envelope Plan.

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LICENSED SURVEYOR
SAMUEL JAMES LOVELOCK

ORIGINAL SHEET
SIZE A3

SHEET 8

CREATION OF RESTRICTION B - continued

(3) Erect or cause to be erected:-

- (i) on either side boundary or the rear boundary of any burdened Lot any fence of a height more than 2 metres;
- (ii) any fence on either side boundary or the rear boundary of any burdened lot except a fence of timber palings;
- (iii) any fence on the burdened lot between the Front Boundary of the lot and the point that is 5 metres from the Front Boundary of the lot;
- (iv) any fence along the front boundary.

(4) At any time park or store on or within any burdened lot any vehicle (having a carrying capacity of one tonne or more), boat, caravan or trailer in such a way as to be visible from any street adjacent to or abutting that lot.

(5) At any time keep, place or maintain any outside clothes drying or airing facility on any burdened lots so as to be visible from any street adjacent to or abutting that lot.

Notwithstanding clause 3 of Restriction B on this plan, nothing shall prevent MLC in its absolute discretion from erecting any fence of any type or description in locations where it considers it is necessary to do so in the interests of public safety and/or visual amenity.

The restrictions in paragraphs 1 to 5 (both inclusive) shall expire five (5) years after the date of registration of this plan.

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ORIGINAL SHEET
SIZE A3

SHEET 9

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LICENSED SURVEYOR
SAMUEL JAMES LOVELOCK

BUILDING ENVELOPE DIAGRAM

For lots in this plan containing Building Envelopes:

Further setback restrictions may apply, where a lot is affected by an easement or easements.

The Front Setback Zone is defined as the land located between the building envelope and the front boundary of the allotment.

The Rear Setback Zone is defined as the land located between the building envelope and the rear boundary of the allotment.

The Side Setback Zone is defined as the land located between the building envelope and the relevant side boundary of the allotment.

The building envelope applies to the ground floor level only and is limited in height to 3.60 metres. Additional setbacks will apply to upper floors in accordance with the Building Regulations 2006.

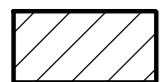
Garages are to be setback a minimum of 5.50 metres from the front boundary of the allotment with the exception of lots with a 3 metre front setback where the Garage cannot be built between 3 and 5 metres from the front boundary.

The building can be built on either side boundary where noted as "0 or 1" on this diagram but must maintain a minimum 1m setback to the opposite boundary.

For lots in this plan not containing Building Envelopes:

Lots on this diagram without a Building Envelope are subject to setbacks as defined in the Small Lot Code (Metropolitan Planning Authority, August 2014) for Type A or B as defined in the Building Envelope Diagram

LEGEND



Building Envelope

B

Small Lot Code building type B

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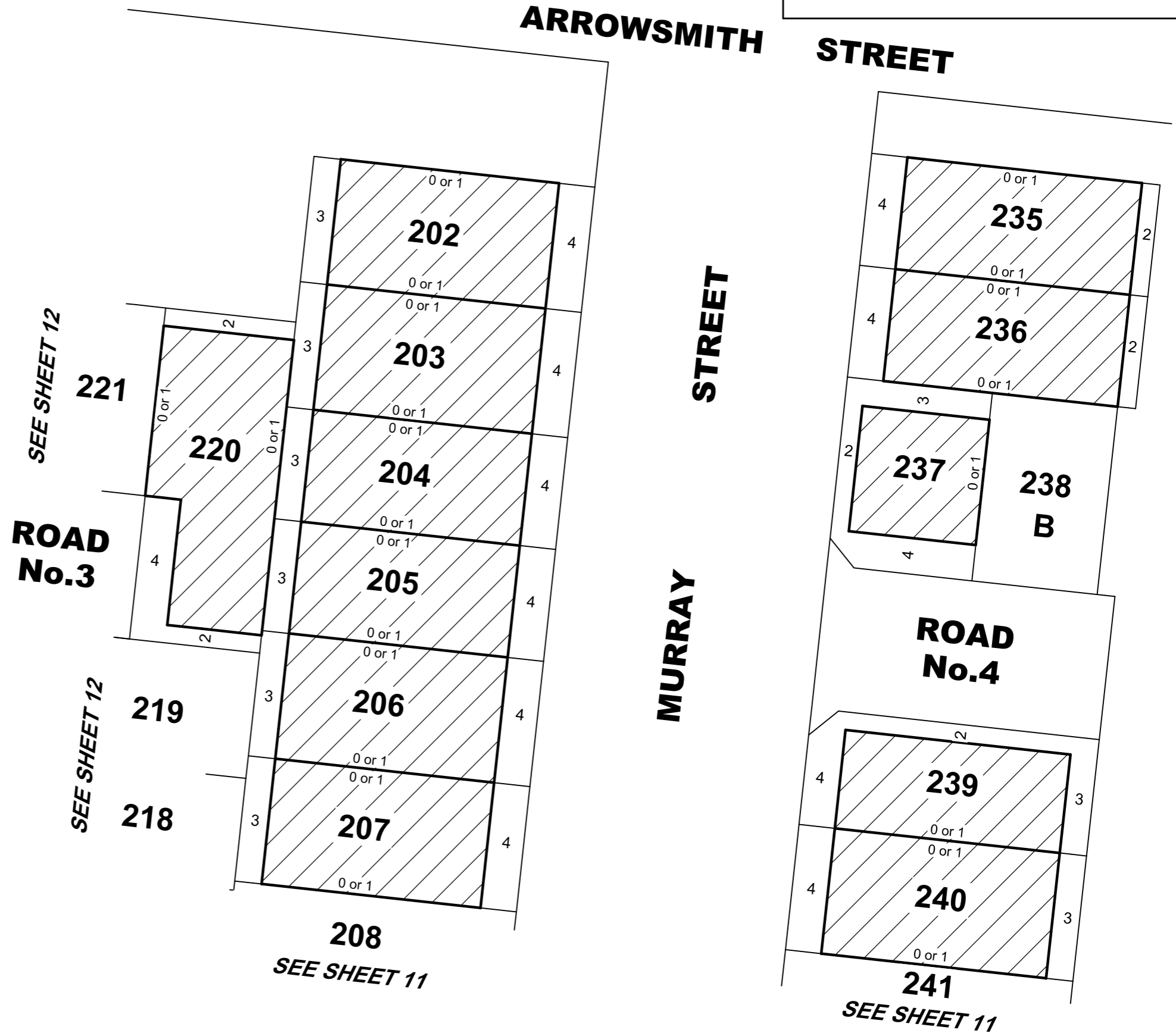
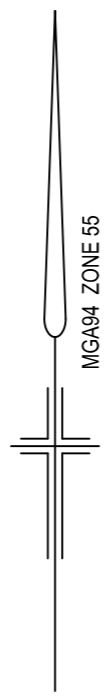
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SCALE 1:500
10 0 10 20
LENGTHS ARE IN METRES

LICENSED SURVEYOR
..... SAMUEL JAMES LOVELOCK

ORIGINAL SHEET
SIZE A3

SHEET 10



PLAN NUMBER
PS822295T

BUILDING ENVELOPE DIAGRAM

For lots in this plan containing Building Envelopes:

Further setback restrictions may apply, where a lot is affected by an easement or easements.

The Front Setback Zone is defined as the land located between the building envelope and the front boundary of the allotment.

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The Side Setback Zone is defined as the land located between the building envelope and the relevant side boundary of the allotment.

The building envelope applies to the ground floor level only and is limited in height to 3.60 metres. Additional setbacks will apply to upper floors in accordance with the Building Regulations 2006.

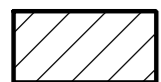
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Lots on this diagram without a Building Envelope are subject to setbacks as defined in the Small Lot Code (Metropolitan Planning Authority, August 2014) for Type A or B as defined in the Building Envelope Diagram

LEGEND



Building Envelope

B

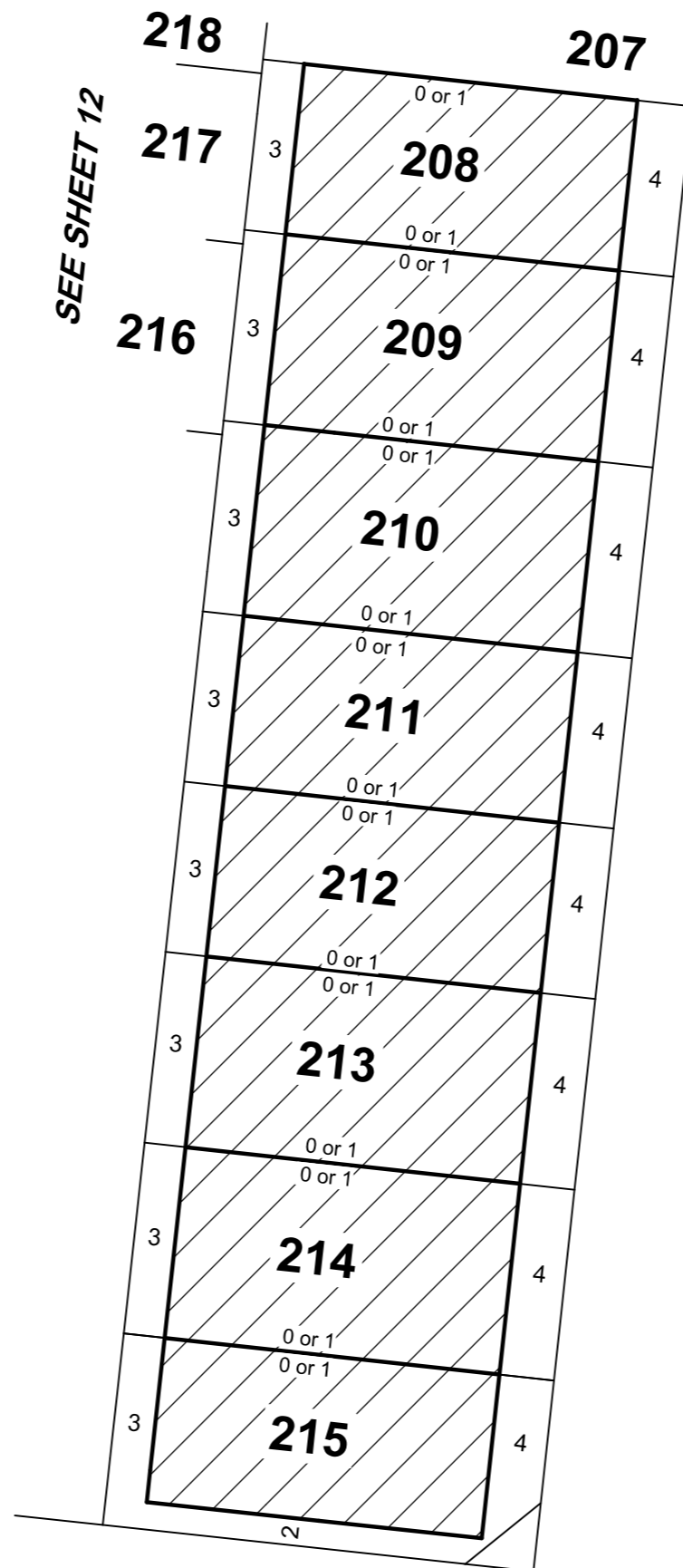
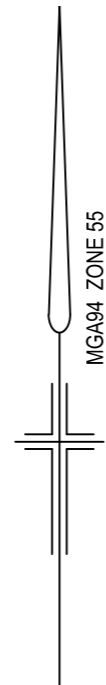
Small Lot Code building type B

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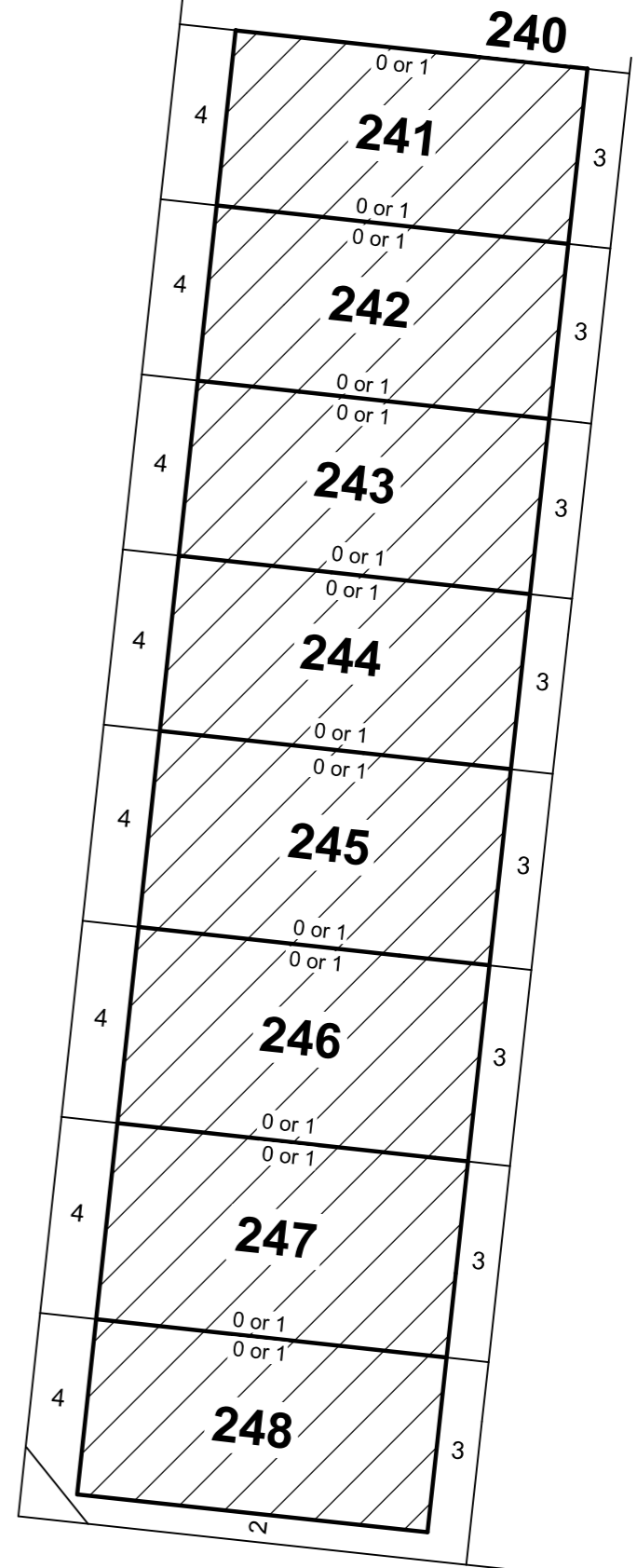
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SEE SHEET 10

MURRAY STREET

PLAN NUMBER
PS822295T



SCALE 1:500
10 0 10 20
LENGTHS ARE IN METRES

LICENSED SURVEYOR
..... SAMUEL JAMES LOVELOCK

ORIGINAL SHEET
SIZE A3

SHEET 11

BUILDING ENVELOPE DIAGRAM

PLAN NUMBER
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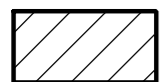
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For lots in this plan not containing Building Envelopes:

Lots on this diagram without a Building Envelope are subject to setbacks as defined in the Small Lot Code (Metropolitan Planning Authority, August 2014) for Type A or B as defined in the Building Envelope Diagram

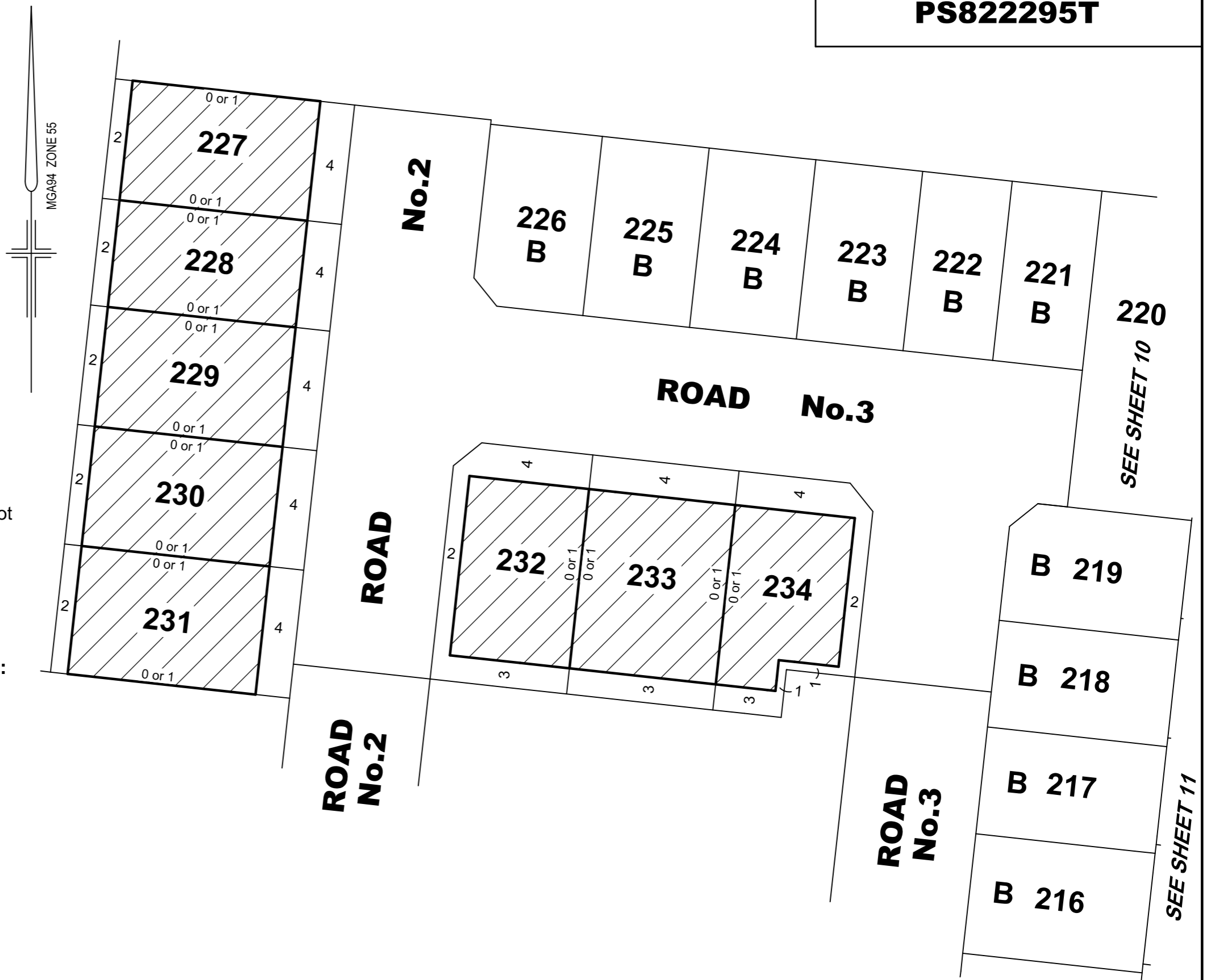
LEGEND



Building Envelope

B

Small Lot Code building type B



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SCALE 1:500
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LENGTHS ARE IN METRES

ORIGINAL SHEET
SIZE A3

SHEET 12

LICENSED SURVEYOR

SAMUEL JAMES LOVELOCK